



60 Daventry Road

Barby, Daventry, Northamptonshire, CV23



David Cosby

CHARTERED SURVEYORS
SURVEYING | SALES | ARCHITECTURE



RICS



60 Daventry Road

Barby, CV23 8TR

£289,000

- Village location
- Large corner plot
- Arts & Crafts inspired design
- Large detached brick garage under a pitched roof
- Sympathetically extended
- Off-road parking
- 2 Double bedrooms
- Utility
- Ground floor cloak room

Description

An attractive 1930's semi-detached house situated on a large plot with detached garage.

Inspired by the Arts & Crafts movement with long sloping roofs and roughcast render, the property has been sympathetically extended and is located within the delightful village of Barby.

With a generous sized rear garden, larger than average garage with workshop, and off-road parking for several vehicles, the property offers great potential for working from home.



**Viewing is strictly by appointment through
the sole agents David Cosby Chartered Surveyors**

An attractive 1930's semi-detached house situated on a large plot with detached garage. Inspired by the Arts & Crafts movement with long sloping roofs and roughcast render.





The Property

Ground Floor:

Entrance Hall:

The low sloping roof extends over the front entrance door which opens into an attractive hallway with traditional styled Dorset Marron floor tiles. A small side casement window provides good natural lighting. The half winder stairs are fitted with plush grey carpet and a six-panel pine door leads to the sitting room.

Sitting Room:

The good-sized sitting room has a central fireplace providing the main focal point with classically styled painted timber surround and wood burning stove. The ceiling is finished with profiled plaster covings with a central ceiling rose. Good natural lighting enters from the large casement window overlooking the front garden. Oak effect laminate floor boards have been installed and there is an under stairs cupboard houses the boiler which provides useful storage space. The sitting room leads onto the kitchen / breakfast area.

Dining Room:

The dining area is situated in the centre of the property in what would have originally been the kitchen. The property was extended in 2007 to provide a large kitchen at the rear of the house and the resultant open plan space is perfect for modern day living with the kitchen flowing into the eating and seating areas. There is plenty of room for a good-sized dining table and a sofa currently sits below the large window overlooking the side passageway.

Kitchen:

The kitchen consists of good quality, well cared for cream coloured base and wall units providing plenty of storage. There is a large 4-cavity, electric Rangemaster cooker in cream with ceramic hob and extractor hood. Country style above counter wall tiles and Oak effect ceramic floor tiles complete the look and there is a large double-glazed Velux rooflight providing an abundance of natural lighting. A pine door with upper decorative glazing panes leads to the utility area and downstairs cloakroom.



Utility:

The utility room is a perfect space for leaving muddy boots and wet coats and provides addition base and wall units for storage with a stainless-steel sink and drainer with traditionally styled mixer tap. There is also space for an under the counter washing machine. The Oak effect floor tiles extend through from the kitchen and neutral stone-effect splashback tiling completes the room.

Downstairs cloakroom:

The property benefits from a downstairs cloakroom with corner wash hand basin, WC and mosaic type tiling to dado level and larger white ceramic tiling above. A small casement window with obscured glazing to the rear of the room provides natural light and ventilation.

Barby is a charming village with an active community and is nestled in a rural environment but conveniently positioned for access to the motorway networks. Situated between Rugby and Daventry on Northamptonshire's border with Warwickshire the village occupies an elevated position overlooking the River Leam and Rainsbrook valleys.

First Floor:

First Floor Landing:

The carpeted half-winder stairs are fitted with a pine handrail. Doors to the landing area lead off to the two bedrooms and bathroom. There is also a loft hatch to the roof space and a good-sized airing cupboard with slatted shelves, perfect for drying and warming towels and bed sheets.

Master Bedroom:

The master bedroom sits at the front of the house and has been tastefully decorated and features the same plush grey carpet from the landing. The room is well sized with space for a large double bed, quadruple wardrobe, dressing table and chest of drawers. A small built in cupboard provides further storage.

Bedroom Two:

The second bedroom sits at the rear of the property and, again, is a good size double. It is currently used as a guest room with double bed and bunk beds.

Bathroom:

The bathroom features a white three-piece suite with wash hand basin set in a vanity unit. The bath is fitted with a shower over and incorporates a glazed shower screen. Tiling has been fitted around the bath and shower area and also as a splash back to the wash hand basin. A side casement window with obscured glazing provides good natural light and there is additional ventilation from the mechanical extract vent to the rear elevation. The floor is finished with laminate boards.

Outside Areas:

Front Aspect:

The property sits well back from the Daventry Road and is partly screened by established greenery and a pretty covered trellis style gateway that leads to the garden path. The area is mainly lawned with well-maintained borders and access to a side gate with access leading to the rear garden.

Rear Garden:

The good size rear garden has been landscaped to include a paved seating area immediately adjacent to the rear of the property and lawned areas with pretty borders and hidden spots extend further into the garden. The space currently houses a green house and a paved path leads to a private, gravelled driveway and the detached garage and workshop which is accessed from Mitchison Close.

Garage:

The property benefits from a larger than average, attractive garage. It is a well-built brick structure with a pitched and tiled roof. There is an automatic up-and-over vehicular access door, pedestrian entrance door and windows to the side and rear. A small workshop area has been formed to the rear of the garage which could equally double as a pretty summerhouse or useful work from home office, subject to any necessary statutory approvals.





Location:

The property is located on the Daventry Road in the sought-after village of Barby.

Barby is a charming village with an active community and is nestled in a rural environment but conveniently positioned for access to the motorway networks. Situated between Rugby and Daventry on Northamptonshire's border with Warwickshire the village occupies an elevated position overlooking the River Leam and Rainsbrook valleys.

Historical points of note include the remains of a medieval motte and bailey castle which can still be seen to the north of the village at Castle Mound. The village is also mentioned in Tom Brown's Schooldays, in connection with the Barby Run. This event, which starts from Rugby School, still takes place today!

Amenities and facilities include a Church of England primary school, general store and post office, a garden centre, a village hall, and a children's play area. The Arnold Arms is a popular public house serving both great food and drink. The local Church dates from the 13th Century and has a square tower which is visible from all approaches to the village.

Barby Cricket Ground is located in Longdown Lane opposite the windmill. The club plays in the Warwickshire League and has men's, women's, and junior sides.

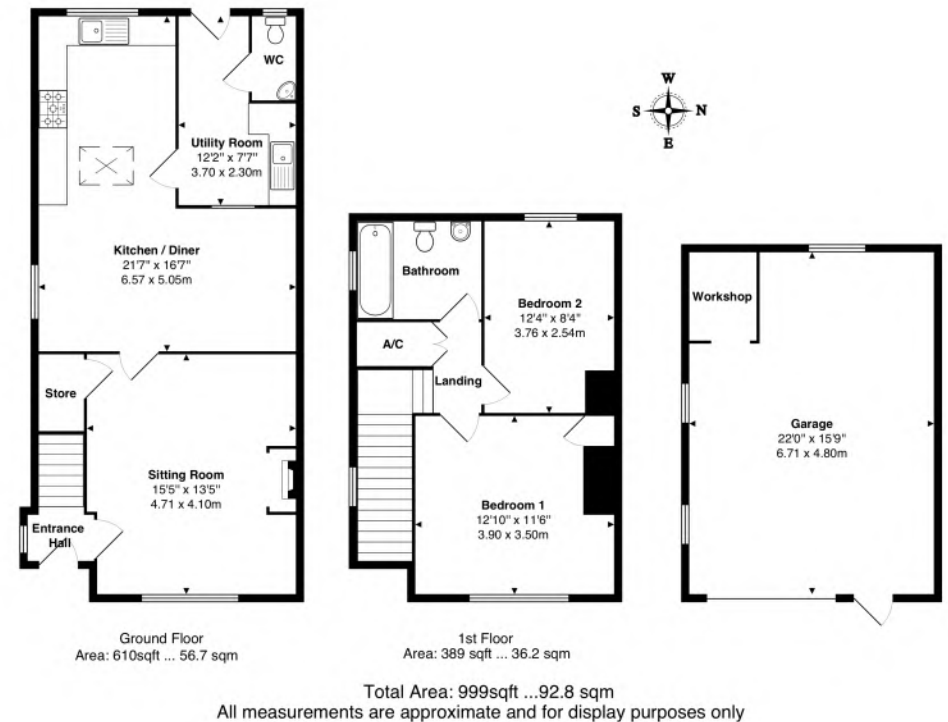


Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92-100) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
	61	78
England, Scotland & Wales		
	EU Directive 2002/91/EC	

Address:
60 Daventry Road Barby CV23 8TR

Reference:
4109

Environmental Impact (CO ₂) Rating		
	Current	Potential
Very environmentally friendly - lower CO ₂ emissions		
(92-100) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not environmentally friendly - higher CO ₂ emissions		
	54	71
England, Scotland & Wales		
	EU Directive 2002/91/EC	



Local Authority: Daventry District Council

Council Tax: Band B

EPC: Current 61(D) Potential 78(C)

Services: Mains Electricity, Water, Drainage and Oil-Fired Central Heating

Important Notice

Whilst every care has been taken with the preparation of these Sales Particulars complete accuracy cannot be guaranteed and they do not constitute a contract or part of one. David Cosby Chartered Surveyors have not tested services, appliances, equipment or fittings within the property and therefore no guarantee can be made that they are in good working order. No assumption should be made that the property has all necessary statutory approvals and consents such as planning and building regulations approval. Any measurements given within the particulars are approximate and photographs are provided for general information and do not infer that any item shown is included in the sale. Any plans provided are for illustrative purposes only and are not to scale. In all cases, prospective purchasers should verify matters for themselves by way of independent inspection and enquiries.

Little Court Cottage | Maidford Road | Farthingstone
Northamptonshire | NN12 8HE
t: 01327 361664 e: enquiries@davidcosby.co.uk

www.davidcosby.co.uk

